

# Let's Talk About

# ADUs

Accessory Dwelling Units

## What is an ADU?

An Accessory Dwelling Unit (ADU) is a small residence that shares a single-family lot with a larger, primary dwelling.

They are also known as:

- accessory apartment
- alley flat
- back house
- backyard bungalow
- basement apartment
- carriage house
- coach house
- garage apartment
- granny flat
- guest house or cottage
- in-law suite
- laneway house
- mother-daughter house
- multigenerational house

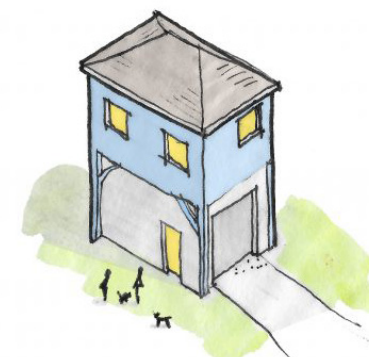
## Why are we talking about them?

The city of Edgewater has identified the following relevant priorities. ADUs might be a tool to help provide these elements:

- Support the Creation of Housing that Caters to a Spectrum of Community Needs (Edgewater 2040 Guiding Principle)
- Edgewater will cultivate an ecosystem that supports affordable housing considering the spectrum of housing options; empowering people to access and/or remain in their homes for as long as they choose. (Edgewater Council Strategic Priority)



STAND-ALONE DETACHED



ADU OVER A GARAGE



ATTACHED ADU



BASEMENT ADU



## What are the benefits of ADUs?





- An ADU can provide **rental income to homeowners** and an affordable way for **renters to live in single-family neighborhoods**
- An ADU can **enable family members to live on the same property** while having their own living spaces – or provide housing for a hired caregiver
- Unlike tiny houses, ADUs are compact but not teeny, so they're a more **practical option** for individuals, couples and families seeking small, affordable housing
- For homeowners **looking to downsize**, an ADU can be a more appealing option than moving into an apartment or, if older, an age-restricted community
- ADUs can help older residents remain in their community and **“age in place”**
- ADUs offer a way to include smaller, relatively affordable homes in established neighborhoods with **minimal visual impact**
- ADUs use **significantly less energy** for heating and cooling

Source: AARP

Let's Talk About  
**Any Concerns!**



Generally, concerns about ADUs can be grouped into 4 categories:

-  **Impact on Neighbors/Community**  
Includes issues such as parking, privacy, neighborhood fit, potential displacement
-  **Design/Construction/Buildability**  
Includes issues such as permitting, minimum lot size, minimum square footage, building form, accessibility
-  **Cost and Affordability**  
Includes issues such as cost of construction, cost of infrastructure, cost to rent
-  **Use and Use Allowances**  
Includes issues such as allowance in zone districts other than single unit, ownership of ADUs, short-term rentals, home offices

Source: City of Denver

Is anything missing from these categories?

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The City will be asking the community about ADUs on the 2024 Annual Community Survey! Help us craft the questions. What do you want to know from your community about ADUs?

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Any other thoughts do you have about ADUs that you'd like to share with the project team?

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